

LOCATION OF LAND PARISH: KOROROIT TOWNSHIP: ---- SECTION: C CROWN ALLOTMENT: 2 (PT) CROWN PORTION: ---- TITLE REFERENCES: VOL. FOL. LAST PLAN REFERENCE: LOT D ON PS900383N POSTAL ADDRESS: 59 - 85 ALFRED ROAD AND (at time of subdivision) 1124 - 1150 MOUNT COTTRELL ROAD STRATHTULLOH, VIC 3338 MGA CO-ORDINATES: E 289 500 ZONE: 55 (of approximate centre of N 5 821 870 GDA 2020 land in plan)	COUNCIL NAME : MELTON CITY COUNCIL
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VESTING OF ROADS OR RESERVES	
IDENTIFIER	COUNCIL / BODY / PERSON
ROADS, R-1 RESERVE No.1 RESERVE No.2	MELTON CITY COUNCIL MELTON CITY COUNCIL MELTON CITY COUNCIL

BALMORAL ESTATE - RELEASE 5
 NUMBER OF LOTS IN THIS PLAN: 30 + 1 BALANCE LOT
 TOTAL AREA OF LAND IN THIS PLAN: 16.68ha (INCLUDING BALANCE LOT: 15.24ha)
 DEPTH LIMITATION: 15.24m APPLIES TO ALL LAND IN THIS PLAN

NOTATIONS

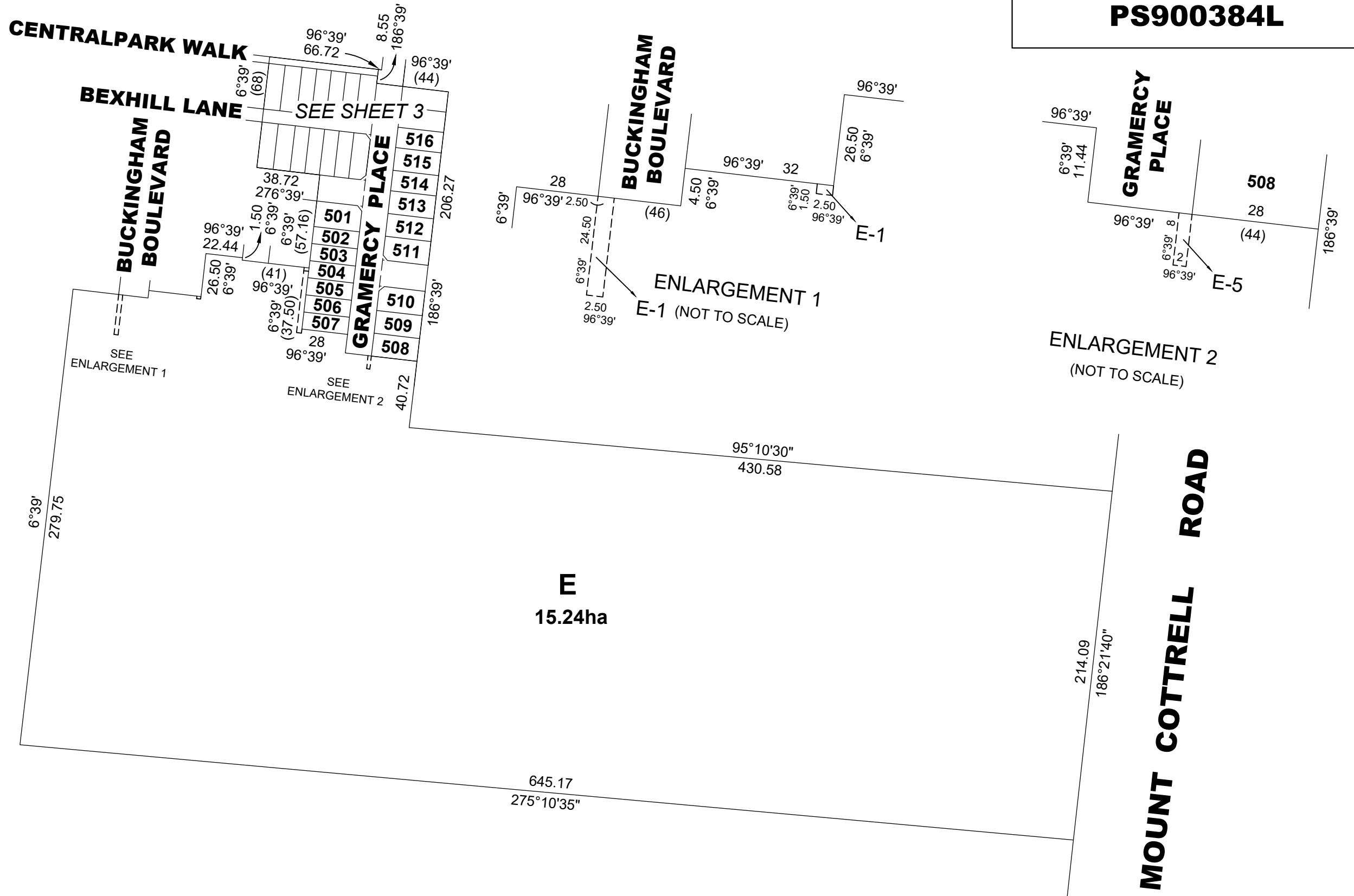
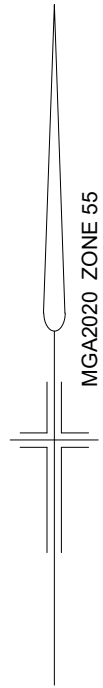
LOTS 1-500 (BOTH INCLUSIVE) HAVE BEEN OMITTED FROM THIS PLAN. ANY EASEMENTS SHOWN ON THE PREVIOUS PLANS AS IT AFFECTS ROADS R-1 ON THIS PLAN ARE REMOVED VIDE SCHEDULE 5, CLAUSE 14 OF THE ROADS MANAGEMENT ACT 2004.	OTHER PURPOSE OF THIS PLAN : CREATION OF RESTRICTION No.1 THE REGISTERED PROPRIETORS OF THE BURDENED LAND COVENANT WITH THE REGISTERED PROPRIETORS OF THE BENEFITED LAND AS SET OUT IN THIS RESTRICTION WITH THE INTENT THAT THE BURDEN OF THE RESTRICTION RUNS WITH AND BINDS THE BURDENED LAND AND THE BENEFIT OF THE RESTRICTION IS ANNEXED TO AND RUNS WITH THE BENEFITED LAND. BURDENED LAND: LOTS 501 - 530 (BOTH INCLUSIVE) (BURDENED LOTS) BENEFITED LAND: LOTS 501 - 530 (BOTH INCLUSIVE) (BENEFITED LOTS) RESTRICTION: UNLESS WITH THE PRIOR APPROVAL OF THE RESPONSIBLE AUTHORITY, THE BURDENED LAND CANNOT BE USED EXCEPT IN ACCORDANCE WITH THE PROVISIONS RECORDED IN THE MCP ----- EXPIRY DATE: 30th JUNE 2030.
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WARNING

THIS PLAN IS AN UNREGISTERED PLAN OF
 SUBDIVISION. DIMENSIONS AND LAYOUT MAY
 VARY PRIOR TO FINAL APPROVAL OF PLAN

EASEMENT INFORMATION					STAGING: THIS IS NOT A STAGED SUBDIVISION PLANNING PERMIT No. PA 2018/6131 SURVEY: THIS PLAN IS BASED ON SURVEY THIS SURVEY HAS BEEN CONNECTED TO PERMANENT MARKS No(s).34 & 59 IN PROCLAIMED SURVEY AREA No. -----
LEGEND: A - APPURTENANT EASEMENT E - ENCUMBERING EASEMENT R - ENCUMBERING EASEMENT (ROAD)					
EASEMENT REFERENCE	PURPOSE	WIDTH (METRES)	ORIGIN	LAND BENEFITED /IN FAVOUR OF	
E-1, E-2	SEWERAGE	SEE DIAG.	PS900383N	GREATER WESTERN WATER CORPORATION	
E-2, E-3	DRAINAGE	SEE DIAG.	PS900383N	MELTON CITY COUNCIL	
E-4	DRAINAGE	SEE DIAG.	THIS PLAN	MELTON CITY COUNCIL	
E-4, E-5	SEWERAGE	SEE DIAG.	THIS PLAN	GREATER WESTERN WATER CORPORATION	

PLAN NUMBER
PS900384L



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VARY PRIOR TO FINAL APPROVAL OF PLAN

REF: 23299/5 VERSION: E DATE: 21/02/22
23299-5-PS-M-E.dwg



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SCALE 1:2500
50 0 50 100
LENGTHS ARE IN METRES

ORIGINAL SHEET
SIZE A3

SHEET 2 OF 3 SHEETS

LICENSED SURVEYOR
..... THOMAS ANDREW MILLAR

CENTRALPARK WALK

96°39'

66.72

PLAN NUMBER

PS900384L

CENTRALPARK WALK

96°39' 66.72 R-1 267m²

GRAMERCY PLACE

96°39' (44)

RESERVE No.1
280m²

524
290m²

523
252m²

522
252m²

521
252m²

520
252m²

519
285m²

BEXHILL LANE

BEXHILL LANE

96°39' 63.72 R-1 543m² 63.72

PLACE

RESERVE No.2
281m²

525
290m²

526
252m²

527
252m²

528
252m²

529
252m²

530
281m²

BEADNELL PLACE

BEADNELL PLACE

R-1 457m²

R-1 2649m²

HERTFORD PLACE

501
434m²

502
294m²

503
294m²

504
294m²

505
294m²

506
294m²

507
294m²

GRAMERCY

LOWESTOFT STREET

R-1 457m²

510
415m²

509
392m²

508
392m²

E
SEE SHEET 2

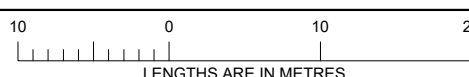
MG2020 ZONE 55

REF: 23299/5

VERSION: E

DATE: 21/02/22
23299-5-PS-M-E.dwg

SCALE 1:500



ORIGINAL SHEET SIZE A3

SHEET 3 OF 3 SHEETS



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LICENSED SURVEYOR
THOMAS ANDREW MILLAR